

DEVELOPMENT REVIEW BOARD REPORT



MEETING DATE: October 6, 2005

ITEM NO. 6

CASE NUMBER/ PROJECT NAME	58-DR-2005 South Corp Yard, Phase II		
LOCATION	7601 E. McKillips Road, south of the southeast corner of McKellips Road and Miller Road		
REQUEST	Request approval of site plan and elevations for a vehicle maintenance and general shop buildings.		
OWNER	City of Scottsdale 480-312-5248	ENGINEER	SKG Enterprises 480-998-5600
ARCHITECT/ DESIGNER	Larson Associates Architects Inc. 602-955-9929	APPLICANT/ COORDINATOR	Jim Larson Larson Associates 602-955-9929
BACKGROUND	<p>Zoning. The site is zoned Multi-family Residential (R-5) District. This zoning district allows for municipal uses as a conditional use on parcels of one (1) acre or greater, subject to the approval of a Municipal Use Master Site Plan, which was approved by Council in 2004, as a Phase II development.</p> <p>Context. The site is located at the south end of the City, surrounded by Tempe on the east, west and south sides. Adjacent Uses:</p> <ul style="list-style-type: none">• North: McKellips Road and a small commercial/ retail center with Commercial (C-1 and C-2) District zoning• South: Multi-family housing in Tempe with equivalent R-5 zoning• East: Community storage facility and the Rio Salada Golf Course with Tempe Commercial and Open Space equivalent zoning• West: Miller Road and Tempe's Indian Bend Park with Open Space equivalent zoning <p>Applicant's Request. The request is for approval of site plan and elevations for Phase II of the City's South Corp Yard, (McKellips Service Center). Phase I contains the new City Police Patrol Station (PD-1) facility that was approved in 2004 for the northern nine-acre portion of the overall 18-acre site. Phase II includes the southern 8.8 acre area and contains two new service shop and vehicle maintenance buildings along with revitalization of four existing buildings. Site access is from two locations along Miller Road (Minor Collector, 40 foot half street) including a shared driveway with the Police facility to the north. Minimum 8-foot tall CMU walls surround the site to reduce impacts and visibility from surrounding sites.</p>		
APPLICANT'S PROPOSAL			

Access is gated with 8-foot tall, perforated metal rolling gates. A vehicle fueling facility for City vehicles is provided along the northern side of the site.

The new buildings consist of 2-tone beige-tan CMU walls, with gold and orange wainscot/accent features. Buildings utilize varied height parapet roofs with a metal roof cap and high pitch, standing seam metal roof areas. Clear glass windows are located along entryway and offices, and clearstory windows are located near the top of the parapet walls. Freestanding metal structures with flat metal canopies provide shading and detailing at entryways. 10 x 10 foot and 12 x 14 foot roll-up doors provide access to service and vehicle maintenance areas. An outdoor, covered and walled tire storage facility is proposed. Existing buildings will be upgraded and repainted to match the new buildings.

Open space is provided by a 20-foot wide buffer along Miller Road to the west and a previously approved, 50-foot wide landscape buffer and walled multi-use pedestrian path along the southern boundary. The proposed landscaping matches Phase I and contains a xeriscape palette with Palo Brea, Mesquite and Sissoo trees, plus Creosote and Yucca with ground coverings and decomposed granite.

Development Information:

- Existing Use: 4 smaller service shop and storage buildings exist on the site that is also mainly used for outdoor storage of materials
- Proposed Use: New municipal service and maintenance facility
- Parcel Size: Southern 8.8 acre portion of the 18.27 acre South Corp Yard
- Building Size: Existing buildings are 12,891 square feet, proposed buildings are 26,120 square feet (excluding 2,097 square foot outdoor covered tire storage area), for a total indoor floor area of 39,011 square feet
- Building Height Allowed: 36 Feet allowed
- Building Height Proposed: 26 Feet proposed
- Parking Required: 130 Parking spaces required
- Parking Provided: 157 Parking spaces provided based on general office use
- Open Space Required: 60,049 Square Feet
- Open Space Provided: 62,945 Square Feet
- FAR: 0.152 Overall, 0.101 Phase II only
- Number of Units: N/A, (if used for townhouses, total of 300-400 units)
- Density: N/A, (if used for townhouses 17-23 dwelling units per acre)

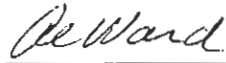
DISCUSSION

The Phase II, South Corp Yard proposal contains service shop and vehicle maintenance facilities plus a City vehicle fueling station, a 40,158 square foot large vehicle parking/ staging area, and a 75,000 square foot open and covered materials storage area. A traffic study completed with the Municipal Use Master Site Plan in 2002 indicated traffic generation from the proposed use will not be

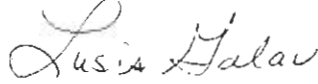
KEY ISSUES	<p>at high levels and can be adequately accommodated by the adjoining streets. Also the study notes that the municipal use will result in fewer daily trips than if the site were developed under the existing zoning as a multi-family apartments. Community input received during the Master Site Plan approval was favorable and comments have been incorporated into the current plan. No neighborhood opposition has been received and the City of Tempe has no objection to the use.</p> <ul style="list-style-type: none">• An 8-foot tall screen wall surrounds the site on each side.• Minimum building setback is 147 feet from the townhouses to the south.• Substantial public involvement has occurred during the Municipal Use Master Site Plan process. No public comment has been received on the case and Tempe does not object.
OTHER BOARDS AND COMMISSIONS	<ul style="list-style-type: none">• The City purchased the site in 1958 and annexed it from Tempe in 1981.• Case 95-Z-83 zoned the site Multi-family Residential (R-5) District in 1983.• Case 92-DR-2001 approved a multi-use path along the south side in 2002.• Case 2-UP-2004 approved a Municipal Use Master Site Plan for the site in two phases on April 5, 2004.• Case 18-DR-2004 approved Phase I, with 3 new police buildings containing 80,000+/- square feet of floor area on May 6, 2004.
STAFF RECOMMENDATION	<p>Staff recommends approval, subject to the attached stipulations.</p>

STAFF CONTACT(S) Al Ward, AICP
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Phone: 480-312-7067
E-mail: award@ScottsdaleAZ.gov

APPROVED BY



Al Ward
Report Author



Lusia Galav, AICP
Current Planning Director
Phone: 480-312-2506
E-mail: lgalav@scottsdaleAZ.gov

ATTACHMENTS

1. Applicant's Narrative
2. Context Aerial
- 2A. Aerial Close-Up
3. Zoning Map
4. Site Plan
5. Site Plan Details
6. Landscape Plan
7. Black & White Elevations
8. Color Elevations
9. Color Perspective
- A. Fire Ordinance Requirements
- B. Stipulations/Zoning Ordinance Requirements



Project Narrative

The City of Scottsdale is proposing to add to its complex of maintenance-oriented buildings on the southern portion of the South Corporation Yard. The current use of the site is as a shops location, some communication functions that will remain and as yard for general construction materials storage, recycle container storage and other general support functions as needed by the City. The two proposed structures will provide additional maintenance shop space and a significant vehicle maintenance facility.

The maintenance shop space, including some maintenance offices, a one-story building that is 16'-0" providing interior clear space of 12'-0" to support various operations including the plumbing shop, a millwork shop and other City facility maintenance functions to be determined. The vehicle maintenance building is a 26'-0' high facility. The height is necessary to provide maintenance clearance for fire trucks and garbage trucks to be serviced adequately. Four service bays for light trucks are being provided on the east side of the Vehicle Maintenance building. To the west of the large-vehicle service bays the project also contains lockers, shower facilities, a break room, a computer room for service staff and space for motorcycle maintenance.

Attached to the vehicle maintenance facility is a walled and covered storage yard in which tires will be secured, protected and stored for eventual City use.

The facilities are on the same overall campus as the Police Support Facilities (Patrol Station, Forensic Lab and Evidence Storage buildings). Because of that adjacency the buildings will use the same color palette as the Police Support Facilities. The exterior walls of the facility are shown as masonry although during the next design phase we will be exploring the cost and feasibility of building the maintenance facilities with concrete tilt-up panels to match the building technology of the Police Support Facilities.

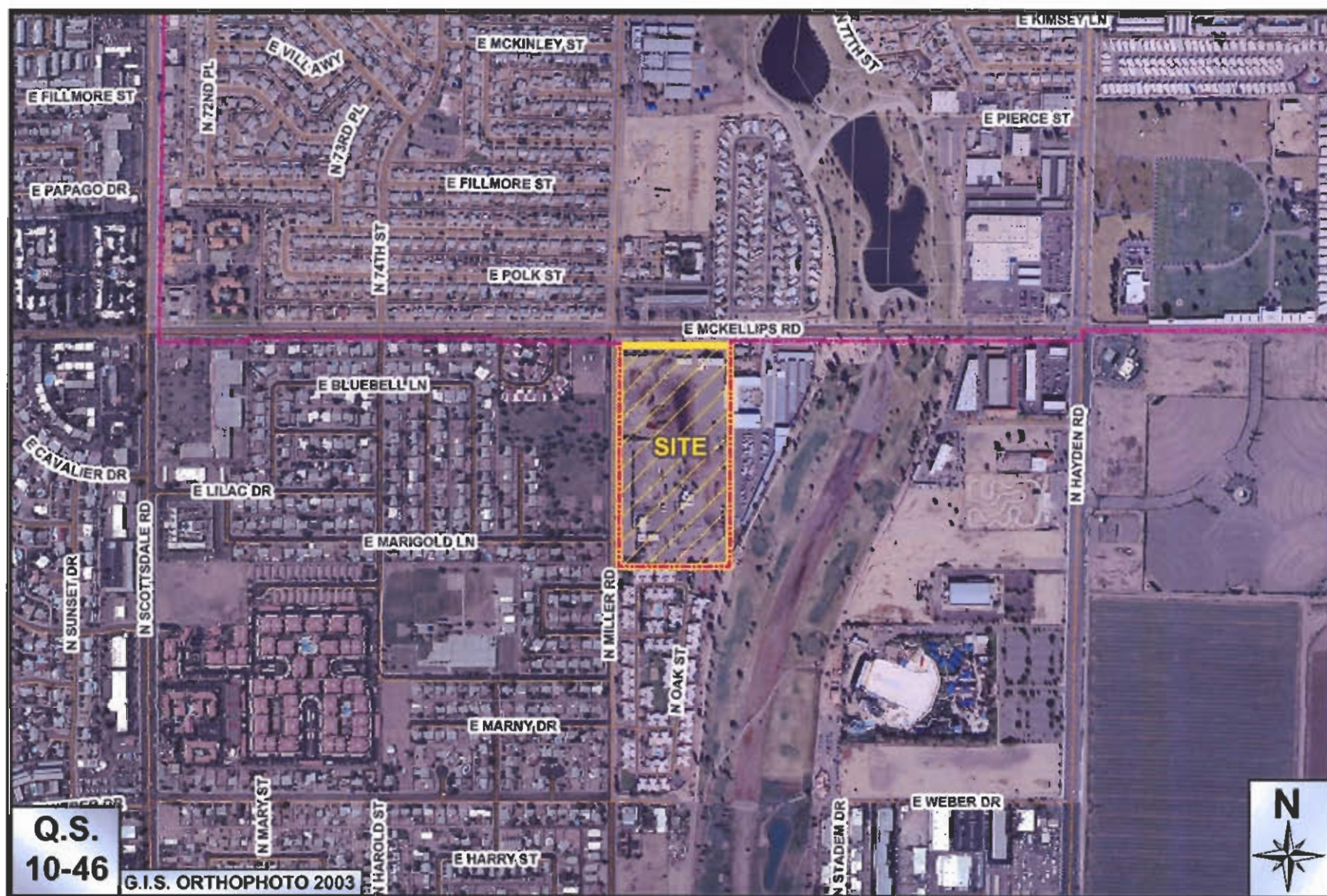
The landscape edge along Miller road on the west portion of the site continues the DR-approved landscape palette from the north portion of the site. That landscape development connects to another DR-approved landscape development along the south 50' of the site, a landscape buffer that separates the facility from the apartments to the south (inside the City limits of Tempe) as well as provides a connection to the Indian Bend Wash to the east. The complete landscape buffer development provides a path allowing walking and/or bike access from the northern edge of the Police Support Facility site along the western portion of the site to the connection that allows access to the Indian Bend Wash.

On the north portion of the site, just south of the Police Support Facilities, the project contains a fuel facility for the City fleet. Diesel and gasoline will be dispensed at this location. At this time the facility will not have a canopy although additional studies will address its feasibility. If a canopy is provided it will be a separate submittal to staff for additional review.

The existing buildings will remain as currently built with no changes proposed due to budget constraints.

ATTACHMENT #1

58-DR-2005
6/20/2005



South Corp Yard

58-DR-2005

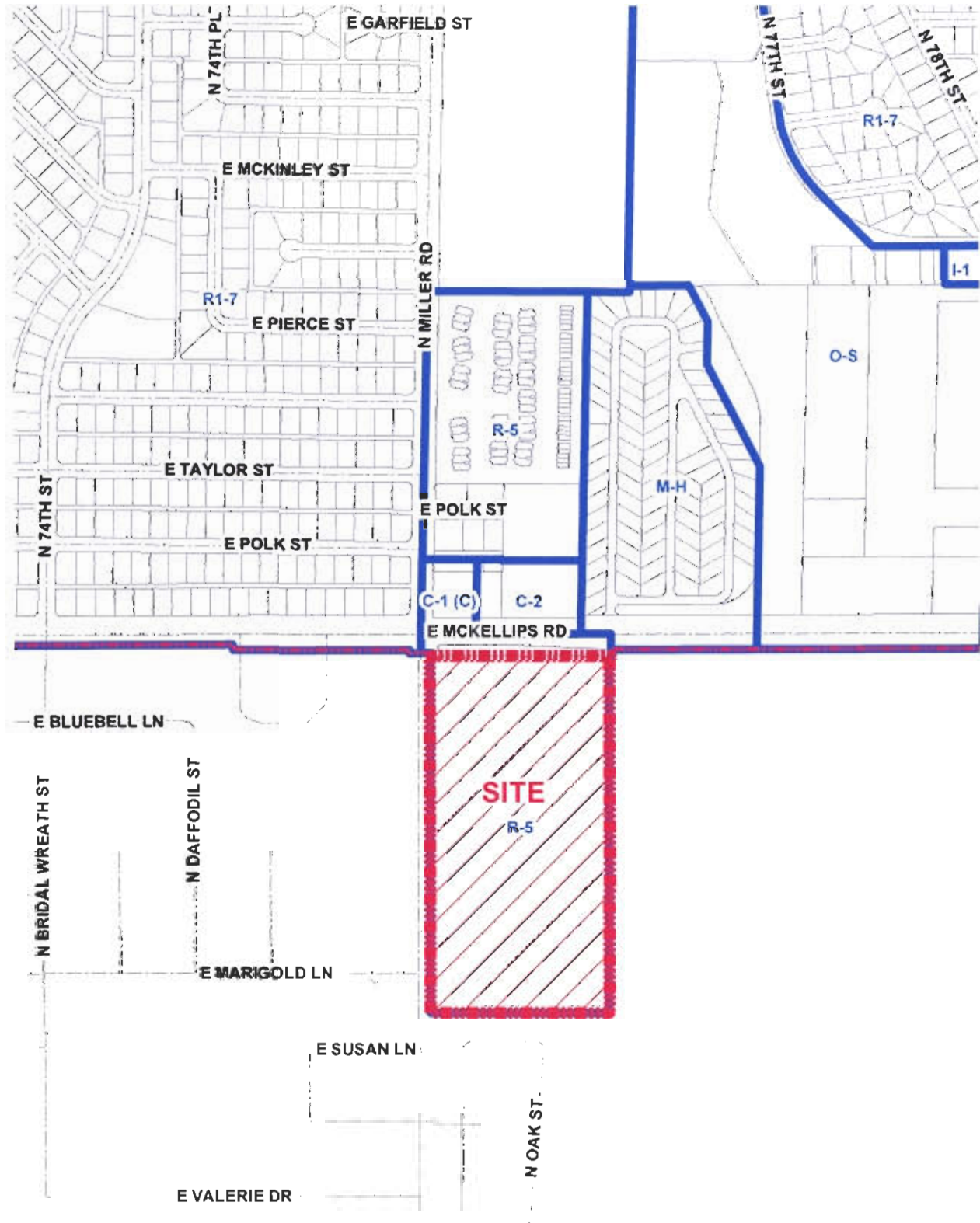
ATTACHMENT #2



South Corp Yard

58-DR-2005

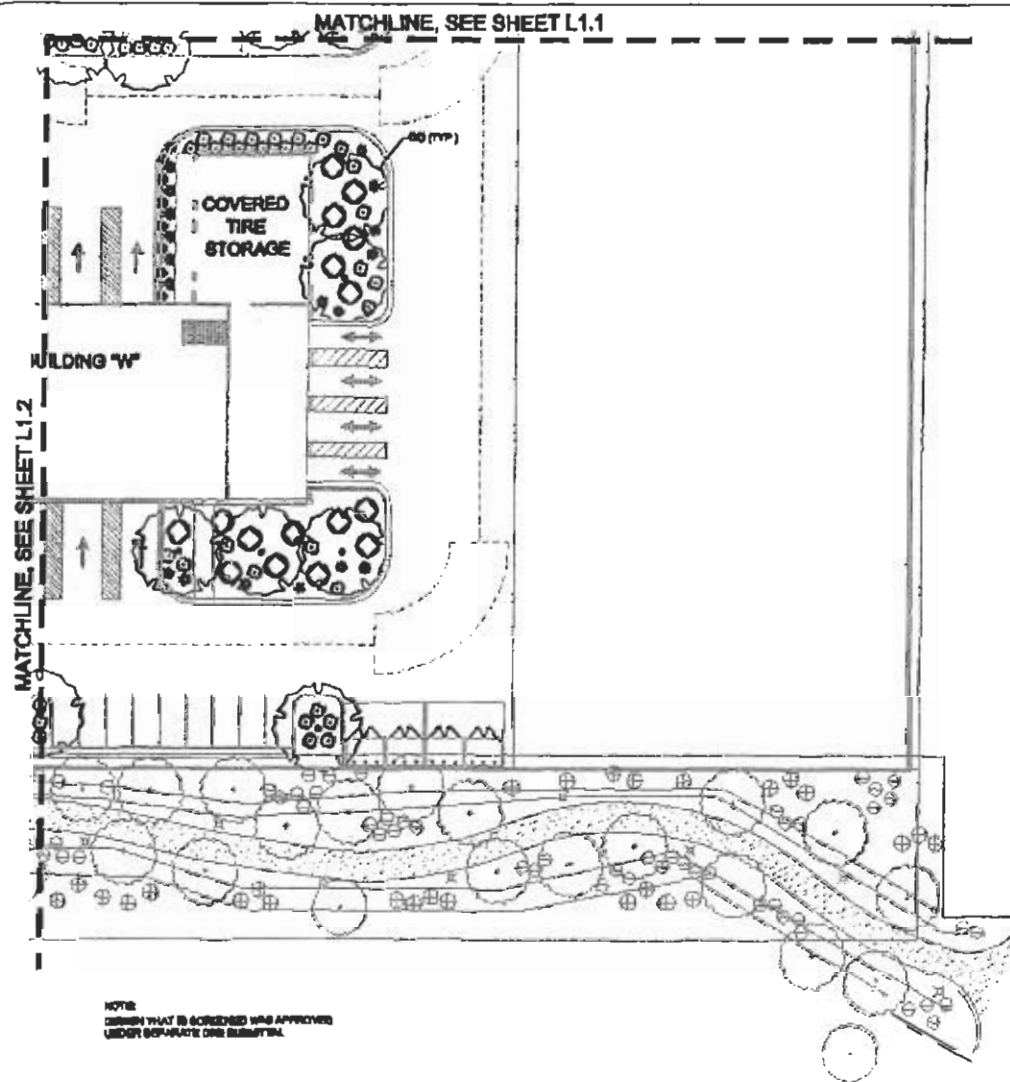
ATTACHMENT #2A



58-DR-2005

ATTACHMENT #3





LANDSCAPE LEGEND

SYMBOL	SCIENTIFIC NAME	COMMON NAME	SIZE
+	CORDON ROSE	CORDON ROSE	24" BOX
+	CACALAPA CACALADO	CACALOTE	24" BOX
+	DALBERGIA STUDD	YUCCO	24" BOX
+	NEOLOMA TYND	PHICIA	15 GAL
+	AGAVE PALMER	PALMER'S AGAVE	5 GAL
+	AGAVE PARS II	PARRY'S AGAVE	5 GAL
+	YUCCA ELATA	SPOTTED YUCCA	8 HIGHT
+	BRICKELLIA HYBRID	THOMPSON	5 GAL
+	LEUCOPHYLLUM	OROSOTE	5 GAL
+	LEUCOPHYLLUM	TEXAS RANGER	5 GAL
+	LEUCOPHYLLUM	CHRY. JARDAN SAGE	5 GAL
+	FRAXINUS	EL. RO.	1 GAL
+	BAILEY	DESERT MARGOLD	1 GAL
+	DREA CAPATA	SPINA GOLD	1 GAL
+	ITEM	SIZE	QTY
+	DECOMPOSED GRANITE	5/4" GRADE	2

LANDSCAPE PLAN
APPROVED
CITY OF SCOTTSDALE

CASE #	PROJECT	DATE

CONSTRUCTION AND INSTALLATION SHALL BE IN ACCORDANCE WITH THIS PLAN AND ANY AND ALL MODIFICATIONS WILL REQUIRE RE-APPROVAL. LANDSCAPE INSTALLATION TO BE APPROVED BY CITY OF SCOTTSDALE INSPECTION SERVICES BEFORE CERTIFICATE OF OCCUPANCY IS ISSUED.

ALL LANDSCAPE AREAS AND MATERIALS, INCLUDING THOSE LOCATED IN PUBLIC RIGHTS-OF-WAY, SHALL BE MAINTAINED IN A HEALTHY, NEAT, CLEAR AND WEED-FREE CONDITION. THIS SHALL BE THE RESPONSIBILITY OF THE:

City of Scottsdale



LANDSCAPE PLAN
L1.2

6-20-05
58-02-05

CPM
Capital Project Management

CITY OF SCOTTSDALE

Larson
Larson Associates Architects, Inc.

City of Scottsdale
Public Improvement

South Yard
Maintenance
Facility

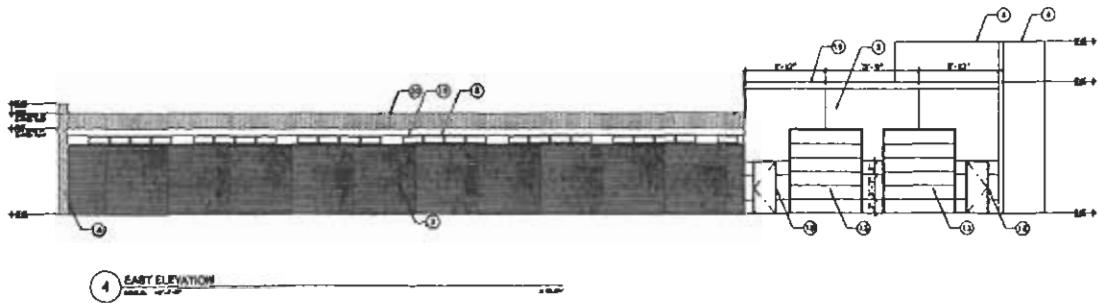
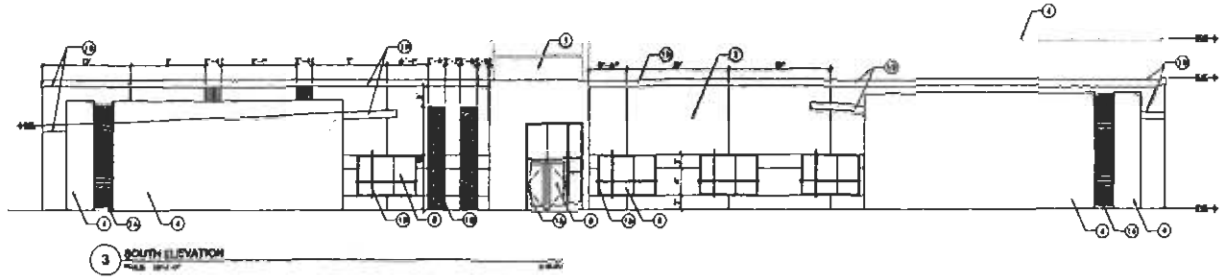
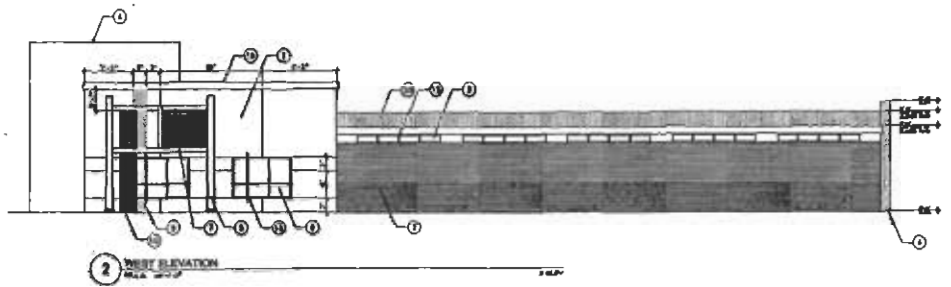
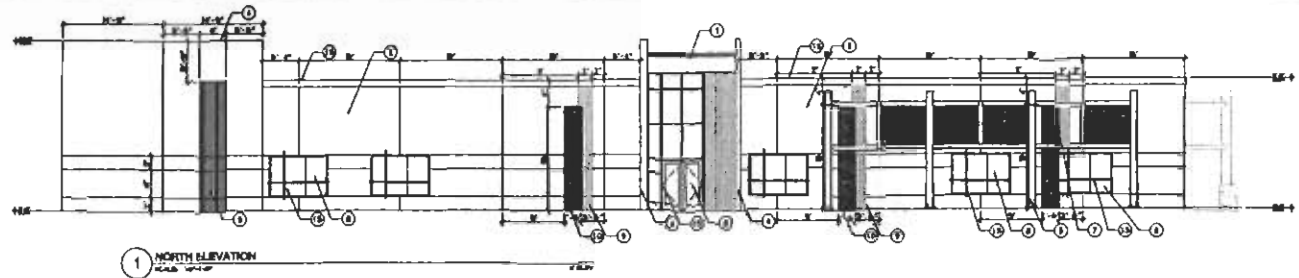
100 EAST McDOWELL ROAD
SCOTTSDALE, ARIZONA 85251-4812
PH: 480.343.8000 FAX: 480.343.8001

EXTERIOR ELEVATION KEYED NOTES:

1. STANDING COR BLOCK WITH STONE TRUSS STUCCO
- PAINTED DUNE SANDS - 10% 3/16" COARSE
2. STANDING COR BLOCK WITH STONE TRUSS STUCCO
- PAINTED DUNE SANDS - 10% 3/16" COARSE
3. NOT USED
4. STANDING COR BLOCK WITH STONE TRUSS STUCCO
- PAINTED DUNE SANDS - 10% 3/16" COARSE
5. FOLDER COATED STEEL - PPS BAL 300 PERFORANCE
6. FOLDER COATED STEEL - PPS BAL 300 PERFORANCE
7. FOLDER COATED STEEL - PPS BAL 300 PERFORANCE
8. EXTERIOR CLAMP - VISION 1/4" BRIDGE
9. EXPOSED AGGREGATE CONCRETE WITH 1" CONDUITY TEXTURE
10. STAINLESS STEEL TRELLIS FOR PLANTS
11. RACKED GROUT
12. ALTERNATING STUCCO & EXPOSED COR BLOCK BALL -
SEE BUILDING SECTION - BLOCK COLOR TOPPING &
GROUT TO MATCH OFFICE BUILDING BLOCK - RACKED
GROUT
13. RISE ALUMINUM PANEL ROLL IN GARAGE DOORS
14. CORROSION COATED VENT LOUVER WITH BRG SCREEN-
SEE MECHANICAL SCHEDULE FOR VENT SYSTEM
LOCATIONS
15. RISE ALUMINUM WINDOW FRAMES
16. NOT USED
17. NOT USED
18. ALUMINUM TWIN DOOR FRAME WITH HOLLOW STEEL
DOOR & HORIZONTAL BRUSHED ALUMINUM VENEER
19. ALUMINUM BREAK METAL TO MATCH OFFICE BUILDING
DOOR
20. STANDING COR ALUMINUM STANDING SEAT ROOFS -
1/2" PER 1'-0" SLOPE PER

*NOTE: IS TO BE NO ROOF PENETRATIONS THROUGH STANDING
SEAT METAL ROOF

ALL REBAR AND CABLE ARE TO MATCH SURROUNDING
SUBSTRATE



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City of Scottsdale
Public Improvement
**South Yard
Maintenance
Facility**
3001 EAST MONTELEONE ROAD
SCOTTSDALE, ARIZONA 85261-4911

PROJECT NUMBER: 2011-110

Rev	Date	By	Check

Sheet Title

EXTERIOR ELEVATIONS

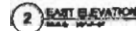
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DR Approval #
Plan Check #

58-DR-2005
09/23/05

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ALL SURFACES AND CAULK ARE TO MATCH SUBSTRATE



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Plan Check \$

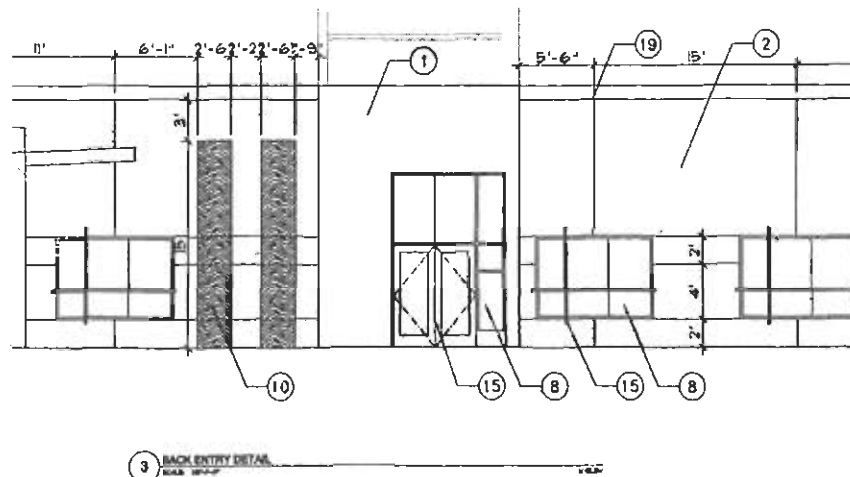
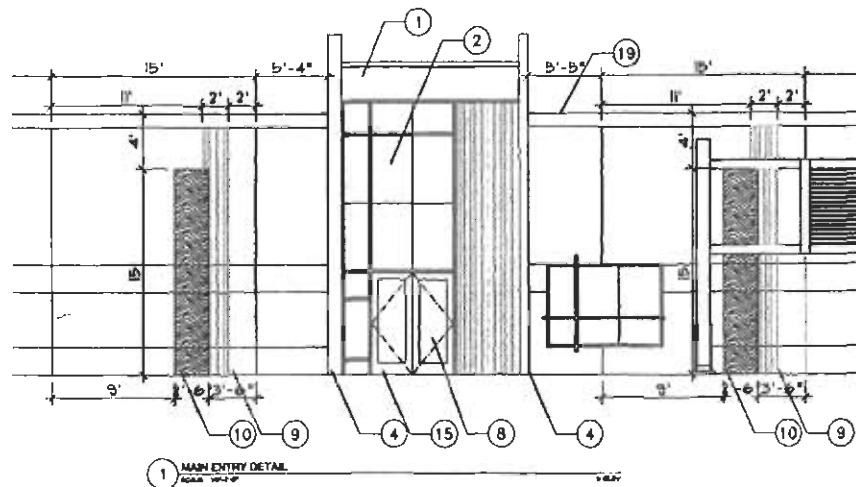
58-DR-2005
09/23/05

EXTERIOR ELEVATION KEYED NOTES:

- ① STANDARD CMU BLOCK WITH SMOOTH TIEBARS, BRICKCO
- PAINTED DARK BROWN - 10% 54 HSB RUFFER
- ② STANDARD CMU BLOCK WITH SMOOTH TIEBARS, BRICKCO
- PAINTED DARK BROWN - 10% 54 HSB RUFFER
- ③ NOT USED
- ④ STANDARD CMU BLOCK WITH SMOOTH TIEBARS, BRICKCO
- PAINTED DARK BROWN - 10% 54 HSB RUFFER
- ⑤ POWDER COATED STEEL - PPG PORTICO
SPRINKLER METALLIC
- ⑥ POWDER COATED STEEL - PPG RAL 501
PERLUSIVE
- ⑦ POWDER COATED STEEL - PPG RAL 501
PERLUSIVE
- ⑧ EXTERIOR ALUMINUM - VERTICAN 141 BRIDGE
- ⑨ EXPOSED AGGREGATE CONCRETE WITH A CONCRETE
TEXTURE
- ⑩ STAINLESS STEEL TRELLIS FOR PLANTS
- ⑪ RACKED BRICK
- ⑫ ALUMINUM BRIDGE - 6X6 CMU BLOCK BALL -
SEE BUILDING SECTION - BLOCK COLOR VARIATION &
SHADE TO MATCH OFFICE BUILDING BLOCK - RACKED
BRICK
- ⑬ RAC ALUMINUM PRESH ROLL UP GARAGE DOORS
- ⑭ CORUGATED COATED VENT LAMINATE WITH BRD SCREEN-
ING TECHNIQUE. FINISHES FOR VENT STREET
LOCATIONS
- ⑮ RAC ALUMINUM LAMINATE FINISHES
- ⑯ NOT USED
- ⑰ NOT USED
- ⑱ ALUMINUM PRESH ROLL UP DOOR FINISHES WITH HOLLOW STEEL
DOOR - HORIZONTAL BRUSHED ALUMINUM VISION
- ⑲ ALUMINUM BRIDGE METAL TO MATCH OFFICE BUILDING
- ⑳ STAINLESS STEEL ALUMINUM BRUSHED BRUSH ROOFING -
1/2" PER 1" OF SLOPE PER

THERE IS TO BE NO ROOF PENETRATIONS THROUGH BUILDING
MAIN METAL ROOF

ALL SEALANTS AND GULKS ARE TO MATCH SURROUNDING
SUBSTRATE



CPM

Capital Project Management
The Scottsdale Office: 4801 N. 19th
Ave., Suite 100, Scottsdale, AZ 85260

CITY OF
SCOTTSDALE

Larson

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City of Scottsdale
Public Improvement
**South Yard
Maintenance
Facility**

2001 EAST McDOWELL ROAD
SCOTTSDALE, ARIZONA 85261-4813

PROJECT NUMBER: 3001-110

DATE	REVISION

DATE	REVISION

EXTENSION DETAIL
ELEVATIONS

A2.1-J

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58-DR-2005

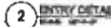
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DR Approval #

Plan Check #

- ① FINISHED CHAIN BLOCK WITH SPUNN BROSSEL BRICKS
+ FINISHED CHAIN EDWARDS - 00 54 40 00 00 00 00
- ② FINISHED CHAIN BLOCK WITH SPUNN BROSSEL BRICKS
+ FINISHED CHAIN EDWARDS - 00 54 40 00 00 00 00
- ③ NOT USED
- ④ FINISHED CHAIN BLOCK WITH SPUNN BROSSEL BRICKS
+ FINISHED CHAIN EDWARDS - 00 54 40 00 00 00 00
- ⑤ POWDER COATED STEEL - PPS PORTUGAL
SPRINKLER METALLIC
- ⑥ POWDER COATED STEEL - PPS RAL 9003
POLYURETHAN
- ⑦ POWDER COATED STEEL - PPS RAL 9003
POLYURETHAN
- ⑧ EXTENSION ALUMINUM - VARIATION 1/11 BRONZE
- ⑨ EXTENDED ALUMINUM'S COORDINATE WITH IT COMPANY
TEXTURE
- ⑩ 6" SQUARE STEEL TRAILER FOR PLANT
- ⑪ BACKED GLASS
- ⑫ ALTERNATING BRICKS + BRICKS CHAIN BLOCK WALL +
ANY FINISHED BRICKS - BLOCK COLOR TEXTURE +
ANY FINISHED CHAIN BLOCKS - BRICKS BLOCK
- ⑬ ALUMINUM BRICK ROLL UP GARAGE DOORS
- ⑭ CORPUS COATED VENT LOVERS WITH RUB SCREENING
TEXTURE THROUGH BRICKS FOR VENT FILTER
LOCATIONS
- ⑮ RUB ALUMINUM BRICKS FRAMES
- ⑯ NOT USED
- ⑰ NOT USED
- ⑱ ALUMINUM CHAIN DOOR FRAMES WITH WALLS STEEL
DOOR + HORIZONTAL BRICKS ALUMINUM VENTERS
- ⑲ ALUMINUM BRICK - METAL TO MATCH CHAIN BLOCKS
- ⑳ FINISHED CHAIN BLOCKS FINISHED CHAIN BLOCKS

ALL APPLICANTS MUST CALL AHEAD TO MATCH APPOINTMENT



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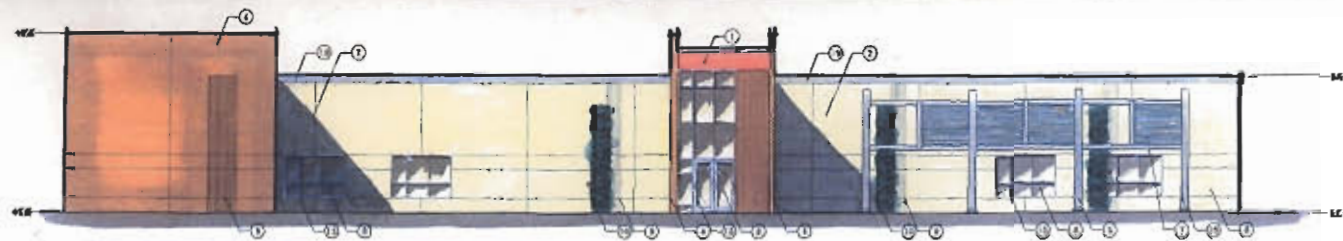
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EXTERIOR ELEVATION KEYED NOTES:

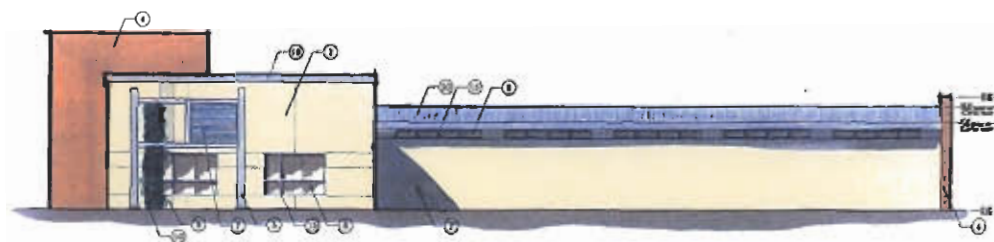
- 1) STANDARD CPN BLOCK WITH BRUSHED BRASS BLOCK - PAINTED DARK BROWN - SEE S&A KEY'S ROOFING
- 2) STANDARD CPN BLOCK WITH BRUSHED BRASS BLOCK - PAINTED DARK BROWN - SEE S&A KEY'S ROOFING
- 3) NOT USED
- 4) STANDARD CPN BLOCK WITH BRUSHED BRASS BLOCK - PAINTED DARK BROWN - SEE S&A KEY'S ROOFING
- 5) POWDER COATED STEEL - PPG GALV. 100 PULCHROUS
- 6) POWDER COATED STEEL - PPG GALV. 100 PULCHROUS
- 7) POWDER COATED STEEL - PPG GALV. 100 PULCHROUS
- 8) EXTERIOR SLAB - VERTICALLY FINISHED
- 9) IMPROVED ANTI-STATIC CONCRETE WITH P. CORROSION RESISTANT
- 10) STAINLESS STEEL TRIM FOR PLUMB
- 11) RACKED BRICK
- 12) ALTERNATING BRICK & BRUSHED CPN BLOCK WALL - SEE BUILDING SECTION 1. BLOCK COLOR TO MATCH & GROUT TO MATCH CPN BLOCK BUILDING BLOCK - RACKED BRICK
- 13) RACK ALUMINUM FINISH ROLL UP GARAGE DOOR
- 14) CORROSION COATED VENT LAYERS WITH RIG SCREENS - MECHANICAL DRAINAGE FOR VENT SYSTEM LOCATIONS
- 15) RACK ALUMINUM FINISH TRIM
- 16) STANDING SEAM ROOF
- 17) TRANSPARENT GLASS
- 18) ALUMINUM FINISH TRIM WITH YELLOW STEEL DOOR & HORIZONTAL BRUSHED ALUMINUM VERTICAL
- 19) ALUMINUM BREAK METAL TO MATCH OFFICE BUILDING
- 20) STANDING SEAM ALUMINUM STANDING SEAM ROOFING - 24" PER 1-2" SLOPE (2)

THERE IS TO BE NO ROOF PENETRATIONS THROUGH STANDING SEAM METAL ROOF

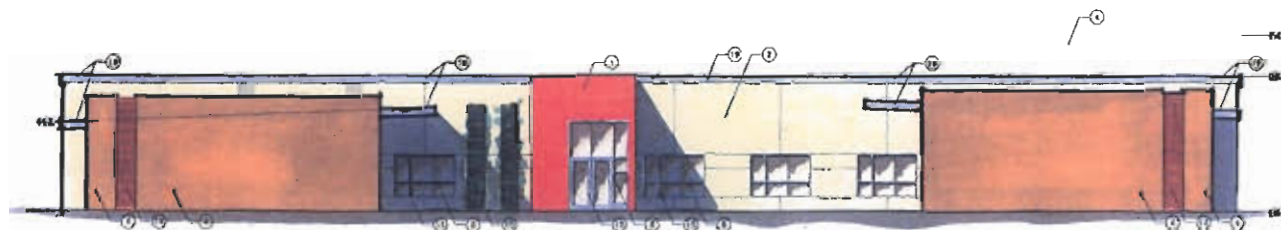
ALL SEALANTS AND GROUT ARE TO MATCH BRICKWORK SUBSTRATE



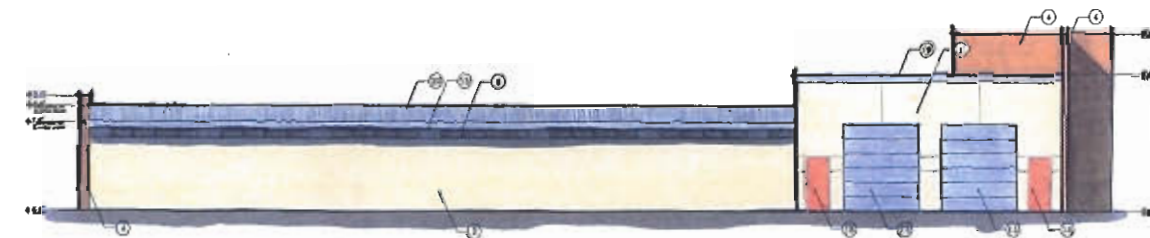
1 NORTH ELEVATION
SCALE: 1/8" = 1'-0"



2 WEST ELEVATION
SCALE: 1/8" = 1'-0"



3 SOUTH ELEVATION
SCALE: 1/8" = 1'-0"



4 EAST ELEVATION
SCALE: 1/8" = 1'-0"

CPM

Capital Project Management
1000 North Central Avenue
Phoenix, AZ 85004

CITY OF SCOTTSDALE

Larson

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1000 North Central Avenue
Phoenix, AZ 85004
(602) 258-1000
www.larsonarchitects.com



City of Scottsdale
Public Improvement
**South Yard
Maintenance
Facility**

1000 EAST McDOWELL ROAD
SCOTTSDALE, ARIZONA 85267-4810
(PROJECT NUMBER: 2005-110)

DATE: 10-05

EXTERIOR ELEVATIONS

A2.O-J

58-DR-2005

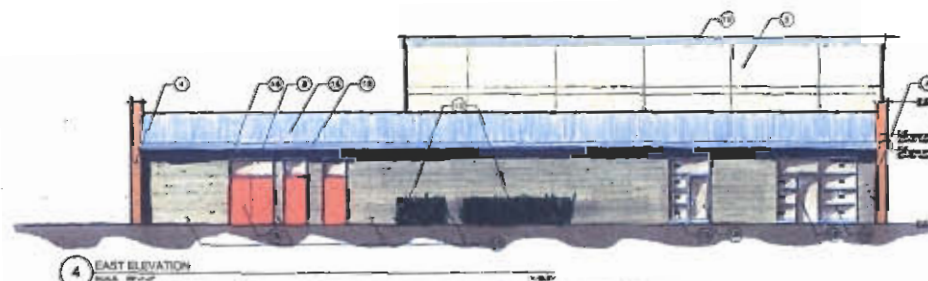
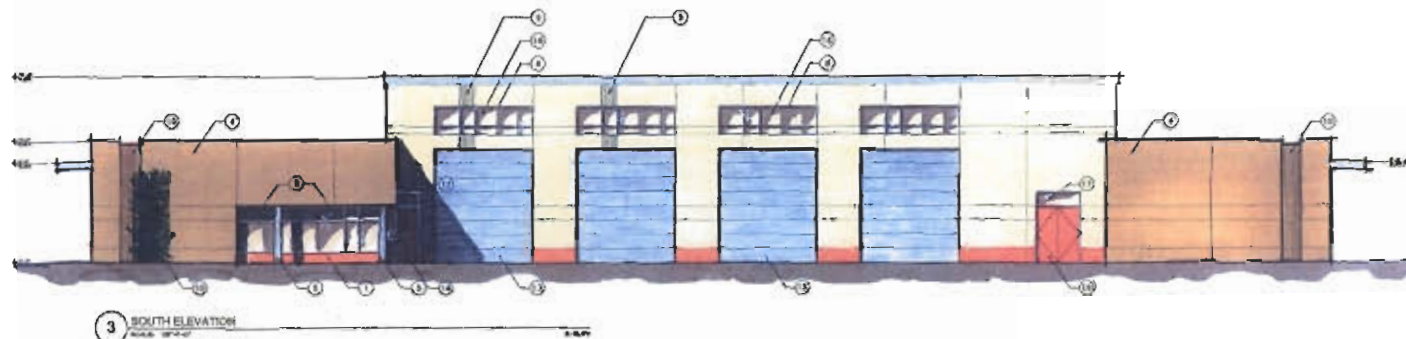
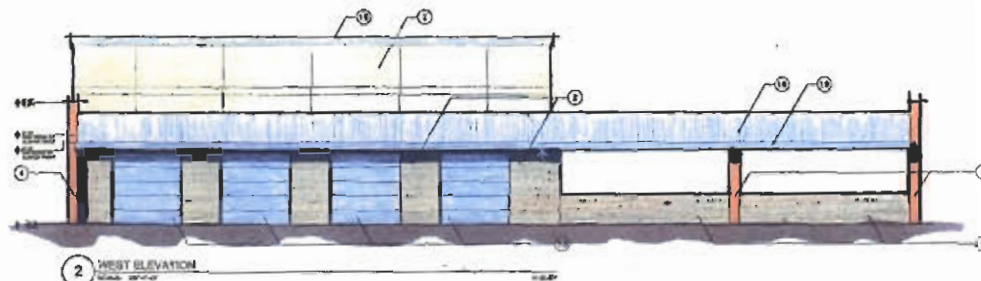
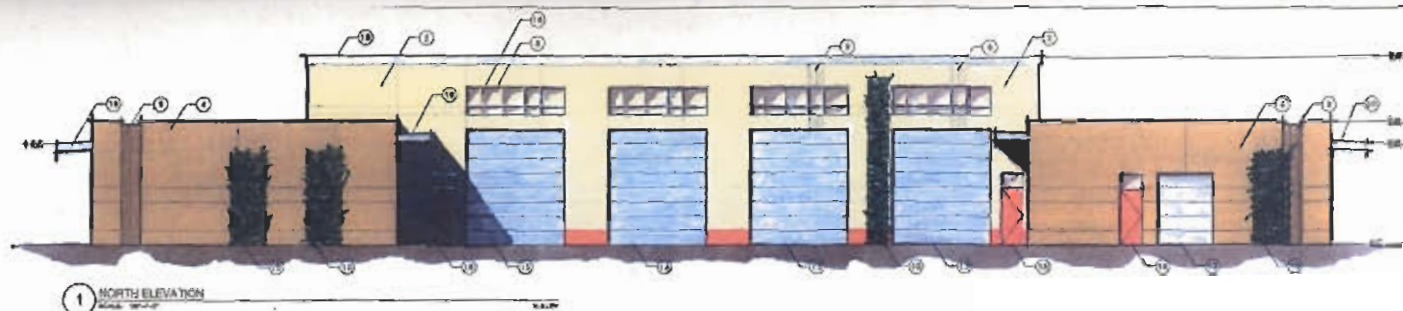
09/23/05

EXTERIOR ELEVATION KEYED NOTES:

- 1 STANDARD CFS BLOCK WITH SMOOTH TIE, BRICK - PAINTED DARK BROWN - SEE S&P 10/10/05
- 2 STANDARD CFS BLOCK WITH SMOOTH TIE, BRICK - PAINTED DARK BROWN - SEE S&P 10/10/05
- 3 NOT USED
- 4 STANDARD CFS BLOCK WITH SMOOTH TIE, BRICK - PAINTED DARK BROWN - SEE S&P 10/10/05
- 5 POWDER COATED STEEL - PPG POLYWOOD BRILLIANT METALLIC
- 6 POWDER COATED STEEL - PPG POLYWOOD BRILLIANT METALLIC
- 7 POWDER COATED STEEL - PPG POLYWOOD BRILLIANT METALLIC
- 8 EXTERIOR SLABS - VITREOUS 1/4" BRICK
- 9 EXPOSED AGGREGATE CONCRETE WITH 1" CONCRETE TEXTURE
- 10 STAINLESS STEEL TRILLER FOR PLANT
- 11 RATCHED GROUP
- 12 ALTERNATING BLOCK - 1 BROWN CFS BLOCK BALL - SEE BUILDING SECTIONS - BLOCK COLOR TEXTURE & GROUP TO MATCH OFFICE BUILDING BLOCK - RATCHED GROUP
- 13 RAMP ALUMINUM FRESH ROLL UP GARAGE DOORS
- 14 EXTERIOR COATED VENT LOUVERS WITH BRASS SCREENS - SEE MECHANICAL DRAWINGS FOR VENT SYSTEM LOCATIONS
- 15 RAMP ALUMINUM BRASS FINISH
- 16 STANDING SEAM ROOF
- 17 TRANSPARENT SLAB
- 18 ALUMINUM FIVE DOOR FRAME WITH YELLOW STEEL DOORS & HORIZONTAL BRASS ALUMINUM VERTICAL
- 19 ALUMINUM BRASS METAL TO MATCH OFFICE BUILDING
- 20 STANDING SEAM ALUMINUM STANDING SEAM ROOFING - 12" PER 1/2" SLOPE FIN

THERE IS TO BE NO ROOF PENETRATIONS THROUGH STANDING SEAM METAL ROOF

ALL SEALANTS AND GASKS ARE TO MATCH IMPROVED SUBSTRATE



CPM

Capital Project Management
201 East Main Street, Suite 100
Scottsdale, AZ 85261

CITY
OF
SCOTTSDALE

Larson

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Scottsdale, AZ 85261
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City of Scottsdale
Public Improvement
**South Yard
Maintenance
Facility**

1001 EAST McDOWELL ROAD
SCOTTSDALE, ARIZONA 85261-4815

PROJECT NUMBER: 2005-110

Rev	Issued

EXTERIOR ELEVATIONS

Rev	Issued

Rev
A2.0-W

58-DR-2005
09/23/05



NORTH SITE ELEVATION OF FOOD BANK, LAB, AND DISTRICT 10 BUILDINGS
Scale: 1/8" = 1'-0"



MIDDLE SITE ELEVATION LOOKING AT WEST SIDE OF FOOD BANK AND LAB BUILDINGS
Scale: 1/8" = 1'-0"

Larson Associates Architects, Inc.
3800 North 38th Street, Suite 110
Phoenix, AZ 85018
402.960.8999 402.960.8999
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Larson

CITY OF SCOTTSDALE
SOUTH YARD
1601 EAST MCCELLIGAN ROAD
SCOTTSDALE, ARIZONA 85251-4613



Drawing Notes
See Elevation
Revisions
Date: 09/23/04
Project Number: 2003-80
Drawing No: SP4.0

58-DR-2005
09/23/05



ATTACHMENT #9

58-DR-2005

09/23/05

South Corp Yard
7601 E. McKellips
Scottsdale, Arizona

FIRE ORDINANCE REQUIREMENTS

(INCORPORATE INTO BUILDING PLANS AS GENERAL NOTE BLOCK - USE ONLY THE DESIGNATED STIPULATIONS)

- | | |
|---|---|
| <p><input checked="" type="checkbox"/> 1. PREMISES IDENTIFICATION TO BE LEGIBLE FROM STREET OR DRIVE & MUST BE ON ALL PLANS.</p> <p><input checked="" type="checkbox"/> 2. FIRE LANES & EMERGENCY ACCESS SHALL BE PROVIDED & MARKED IN COMPLIANCE WITH CITY ORDINANCE & IFC AT THE FOLLOWING LOCATIONS.</p> <p style="margin-left: 20px;"><u>AS SHOWN</u></p> <p>_____</p> <p>_____</p> <p><input checked="" type="checkbox"/> 3. IT IS THE DEVELOPERS RESPONSIBILITY TO DETERMINE ULTIMATE COMPLIANCE WITH THE FAIR HOUSING ADMMENDMENTS ACT & AMERICANS WITH DISABILITIES ACT & INCORPORATE SAME INTO THEIR BUILDING PLANS.</p> <p><input type="checkbox"/> 4. SUBMIT PLANS & SPECS FOR SUPERVISED AUTOMATIC EXTINGUISHING SYSTEM FOR ALL COOKING APPLIANCES, HOOD PLENUMS & EXHAUST DUCTS.</p> <p><input checked="" type="checkbox"/> 5. PROVIDE A KNOX ACCESS SYSTEM:</p> <p style="margin-left: 20px;"><input checked="" type="checkbox"/> A. KNOX BOX</p> <p style="margin-left: 20px;"><input type="checkbox"/> B. PADLOCK</p> <p style="margin-left: 20px;"><input checked="" type="checkbox"/> C. KNOX OVERRIDE & PRE-EMPTION STROBE SWITCH FOR AUTOMATIC GATES.</p> <p><input checked="" type="checkbox"/> 6. INSTALL AN AS BUILT DRAWING CABINET ADJACENT TO THE FIRE SPRINKLER RISER. IT SHALL BE OF ADEQUATE SIZE TO ACCOMMODATE BOTH THE FIRE SPRINKLER & FIRE ALARM DRAWINGS. THE CABINET SHALL BE PROVIDED WITH A LOCK & KEYED TO MATCH THE FIRE ALARM CONTROL PANEL & SUPERVISED BY THE FACP IF APPLICABLE.</p> <p><input type="checkbox"/> 7. SUBMIT PLANS FOR A CLASS _____ FIRE ALARM SYSTEM PER SCOTTSDALE REVISED CODES.</p> <p><input checked="" type="checkbox"/> 8. PROVIDE INTERIOR TENANT NOTIFICATION WHEN OFF-SITE MONITORING IS REQUIRED.
(SEE FIRE ALARM INTERPRETATIONS FOR CLARIFICATION)</p> <p><input type="checkbox"/> 9. ADD 2-1/2" WET FIRE HOSE VALVES (NSHT) IF FLOOR AREA EXCEEDS 10,000 SQ. FT. PER FLOOR LEVEL AND/OR IF FIRE DEPT. ACCESS IS LIMITED TO LESS THAN 360°. _____</p> <p><input type="checkbox"/> 10. BUILDINGS MAY BE SUBJECT TO INSTALLATION AND TESTING REQUIREMENTS FOR A PUBLIC SAFETY RADIO AMPLIFICATION SYSTEM.</p> | <p><input checked="" type="checkbox"/> 11. BACKFLOW PREVENTION WILL BE REQUIRED ON VERTICAL RISER FOR CLASS 1 & 2 FIRE SPRINKLER SYSTEMS PER SCOTTSDALE REVISED CODE.</p> <p><input checked="" type="checkbox"/> 12. PROVIDE ALL WEATHER ACCESS ROAD (MIN. 16") TO ALL BUILDINGS & HYDRANTS FROM PUBLIC WAY DURING CONSTRUCTION.</p> <p><input checked="" type="checkbox"/> 13. SEE APPROVED CIVILS FOR THE NUMBER OF FIRE HYDRANTS REQUIRED. DEVELOPER SHALL HAVE THE REQUIRED HYDRANTS INSTALLED & OPERABLE PRIOR TO THE FOOTING INSPECTION. HYDRANTS SHALL BE SPACED AT A MAXIMUM OF _____ AT _____ GPM. THE DEVELOPER SHALL MAKE THE C.O.S. APPROVED CIVIL WATER PLANS AVAILABLE TO THE FIRE SPRINKLER CONTRACTOR.</p> <p><input checked="" type="checkbox"/> 14. PORTABLE FIRE EXTINGUISHERS SHALL BE INSTALLED. SEE SHEET(S) _____</p> <p><input checked="" type="checkbox"/> 15. EXIT & EMERGENCY LIGHTING SHALL COMPLY WITH THE C.O.S. ORDINANCE & THE IFC. SEE SHEETS _____</p> <p><input checked="" type="checkbox"/> 16. SUBMIT MSDS SHEETS & AGGREGATE QUANTITY FOR ALL HAZARDOUS MATERIALS INCLUDING FLAMMABLES, PESTICIDES, HERBICIDES, CORROSIVES, OXIDIZERS, ETC. A PERMIT IS REQUIRED FOR ANY AMOUNT OF HAZARDOUS MATERIALS STORED, DISPENSED, USED OR HANDLED. COMPLETE AN HMMP & SUBMIT WITH THE BUILDING PLANS.</p> <p><input checked="" type="checkbox"/> 17. FIRELINE, SPRINKLER & STANDPIPE SYSTEM SHALL BE FLUSHED & PRESSURE TESTED PER NFPA STANDARDS & SCOTTSDALE REVISED CODES.</p> <p><input checked="" type="checkbox"/> 18. FDC SIAMESE CONNECTIONS FOR SPRINKLERS AND/OR STANDPIPES WILL BE LOCATED PER ORDINANCE AND/OR AT AN APPROVED LOCATION. MINIMUM SIZE 2-1/2 x 2-1/2 x 4 (NSHT)</p> <p style="margin-left: 20px;"><input checked="" type="checkbox"/> 4' TO 8' BACK OF CURB; INDEP. WET LINE.</p> <p style="margin-left: 20px;"><input type="checkbox"/> WALL MOUNTED - 15' CLEAR OF OPENINGS.</p> <p><input checked="" type="checkbox"/> 19. ADEQUATE CLEARANCE SHALL BE PROVIDED AROUND FIRE RISER. DIMENSIONS FROM FACE OF PIPE SHALL MEASURE A MINIMUM OF 12" OFF THE BACK OF WALL, 18" ON EACH SIDE & 36" CLEAR IN FRONT WITH A FULL HEIGHT DOOR. THE FIRE LINE SHALL EXTEND A MAXIMUM OF 3' INTO THE BUILDING FROM INSIDE FACE OF WALL TO CENTER OF PIPE.</p> |
|---|---|

20. ☒ **SPRINKLER SYSTEM SHALL BE INSTALLED TO COMPLY WITH MINIMUM NFPA CRITERIA 2002 EDITION & SCOTTSDALE REVISED CODES. SYSTEMS WITH 100 HEADS OR MORE SHALL HAVE OFF-SITE MONITORING. AFTER BUILDING PLAN REVIEW, INSTALLING CONTRACTOR SHALL SUBMIT (3) THREE COMPLETE SETS OF DRAWINGS & HYDRAULIC CALCULATIONS REVIEWED BY A MINIMUM NICET III DESIGN TECHNICIAN.**
- ☐ **A. MODIFIED NFPA 13-D SYSTEM WITH RESIDENTIAL QUICK RESPONSE SPRINKLER HEADS (2002 EDITION)**
- ☐ **B. MODIFIED NFPA 13R SYSTEM (2002 EDITION) WITH RESIDENTIAL QUICK RESPONSE SPRINKLER HEADS IN DWELLING UNITS & ATTIC AREAS FED FROM SEPARATE FIRELINE PER C.O.S. ORDINANCE & INTERPRETATIONS & APPLICATIONS. CALCULATE UP TO FOUR REMOTE HEADS & 900 SQ FT MIN. IN ATTIC.**
- ☒ **C. NFPA 13 2002 EDITION COMMERCIAL SYSTEM / DESIGN CRITERIA: Design to usage and commodities SEISMIC DESIGN CATEGORY SHALL BE DETERMINED BY STRUCTURAL ENGINEER.**
- ☒ **D. THE FIRE SPRINKLER SYSTEM DESIGN FOR WAREHOUSE / STORAGE OCCUPANCIES SHALL BE BASED ON THE FULL HEIGHT CAPACITY OF THE BUILDING PER SCOTTSDALE REVISED CODE. DENSITY CRITERIA: Design to commodities stored**
- ☐ **E. SPRINKLER DESIGN CRITERIA FOR UNSPECIFIED WAREHOUSE COMMODITIES: .45 OVER 3000 SQ. FT.**
- ☐ **F. THE PROJECT SPECIFICATIONS SHALL BE SUBMITTED WITH CONTRACT DRAWINGS.**

Submit three (3) complete sets of drawings submitted by installing contractor, after building plan review is complete. Please refer questions to Fire Dept. Plan Review, 312-7070, 312-7684, 312-7127, 312-2372.

Stipulations for Case: South Corp Yard 58-DR-2005

Unless otherwise stated, the applicant agrees to complete all requirements prior to final plan approval, to the satisfaction of Project Coordinator and the Final Plans staff.

PLANNING

APPLICABLE DOCUMENTS AND PLANS:

DRB Stipulations

1. Except as required by the City Code of Ordinances, Zoning Regulations, Subdivision Regulations, and the other stipulations herein, the site design and construction shall substantially conform to the following documents:
 - a. Architectural elements, including dimensions, materials, form, color, and texture, shall be constructed to be consistent with the building elevations submitted by Larson Associates Architects, Inc. with a staff date of 9/23/05.
 - b. The location and configuration of all site improvements shall be constructed to be consistent with the site plan submitted by Larson Associates Architects, Inc. with a staff date of 9/23/05.
 - c. Landscaping, including quantity, size, and location of materials shall be installed to be consistent with the conceptual landscape plan submitted by A Dye Design with a staff date of 6/20/05, Sheets L1 – L4.

ARCHITECTURAL DESIGN:

DRB Stipulations

2. The face of the service entrance section(s) shall be flush with the building façade and painted to match the building.
3. All exterior mechanical, utility, and communications equipment shall be screened by parapet or wall that matches the architectural color and finish of the building. Wall or parapet height for roof-mounted units shall meet or exceed the height of the tallest unit. Wall height for ground-mounted units shall be a minimum of 1 foot higher than the tallest unit.
4. All exterior conduit and raceways shall be painted to match the building.
5. No exterior roof ladders shall be allowed where they are visible to the public or from an off-site location.
6. Roof drainage systems shall be interior, except that overflow scuppers are permitted. If overflow scuppers are provided, they shall be integrated with the architectural design.
7. Wall enclosures for refuse bins or trash compactors shall be constructed of materials that are compatible with the building(s) on the site in terms of color and texture.
8. Dooley wall fencing shall not be allowed.
9. Chain link fencing other than sport courts fencing shall not be allowed.
10. Chain link fencing for sport courts shall be vinyl coated. The color shall to match the building.
11. All walls shall match the architectural color, materials and finish of the building(s).
12. Barbed wire shall not be visible from adjacent properties.

ATTACHMENT B

13. The approved public art design areas located at the entry of the patrol station and at the northwest corner of the site, shall return to a DRB Study Session for informational purposes.
14. The developer/City shall return to the Project Coordination Manager for a staff approval of the revised building elevation that incorporate varying textured finishes to further defined the buildings varying massing.

SITE DESIGN:**DRB Stipulations**

15. The developer/city shall return to the Project Coordination Manager for a Staff Approval that further defines the pedestrian entry locations. These entries shall be designed to provide pedestrian friendly plazas in front of the public entries by adding additional landscaping, site furniture, and decorative paved surfaces.
16. The developer/City shall return to the Project Coordination Manager for a Staff Approval that further defines the pedestrian approaches and circulation.
17. The site walls shall be horizontal staged/offset approximately 8-inches every 30-feet to provide an undulating appearance to the wall.
18. The site wall panels that have the "Ennis Book" or similar color shall have a coarse material finish.

Ordinance

- A. *The developer/city shall provide covered accessible parking equal to the percentage of covered and non-covered standard parking provided. A minimum of one accessible van stall shall be covered.*
- B. *The developer/city shall provide a pedestrian circulation plan for approval by the Project Coordination Manager prior to the Final Plans submittal in accordance with the Use Permit Stipulations.*

OPEN SPACE:**Ordinance**

- C. *The open space plan's calculations and indicated locations shall be revised to correctly reflect the Zoning Ordinance requirements.*

LANDSCAPE DESIGN:**DRB Stipulations**

19. Upon removal of the salvageable native plants the salvage contractor shall submit completed Native Plant Tracking Form as well as a list identifying the tag numbers of the plants surviving salvage operations to the City's Inspection Services Unit within 3 months from the beginning of salvage operations and/or prior to the issuance of the Certificate of Occupancy.

Ordinance

- D. *A minimum of 50% of the required trees shall be mature, 2 ½-inch diameter single trunk or 1 ½-inch average diameter multi-trunk, as defined by the Zoning Ordinance.*

EXTERIOR LIGHTING DESIGN:**DRB Stipulations**

20. All exterior luminaires shall meet all IESNA requirements for full cutoff, and shall be aimed downward and away from property line except for sign and parking lot canopy lighting.
21. The individual luminaire lamp shall not exceed 250 watts.
22. The maximum height from finished graded to the bottom of the any exterior luminaire shall not exceed 20 feet.
23. All exterior light poles, pole fixtures, and yokes shall be a flat black or dark bronze.

24. If poles are provided adjacent to the south property line, they shall utilize extension shield to reduce glare to the residential development adjacent to the south property line.
25. Incorporate into the project's design, the following:

Parking Lot and Site Lighting:

- a. The maintained average horizontal illuminance level, at grade on the site, not including the gasoline canopy area, shall not exceed 2.5 foot-candles.
- b. The maintained maximum horizontal illuminance level, at grade on the site, shall not exceed 10 foot-candles. All exterior luminaires shall be included in this calculation.
- c. The initial vertical illuminance at 6.0 foot above grade, along the east, west and north property line (or 1 foot outside of any block wall exceeding 5 foot in height) shall not exceed 1.5 foot-candles. All exterior luminaires shall be included in this calculation.
- d. The initial vertical illuminance at 6.0 foot above grade, along the south property line (or 1 foot outside of any block wall exceeding 5 foot in height) shall not exceed .3 foot-candles. All exterior luminaires shall be included in this calculation.

Building Mounted Lighting:

- e. All luminaires shall be recessed or shielded so the light source is not directly visible from property line.

Carport Lighting:

- f. The carport lighting shall be recessed within the canopy and shall not project below the fascia. The light source is not directly visible from the property line.

VEHICULAR AND BICYCLE PARKING:

DRB Stipulations

26. Bike rack design shall be in conformance with City of Scottsdale M.A.G. Details unless otherwise approved in writing by the City of Scottsdale's Transportation Department.

Ordinance

E. Bike parking shall be provided in accordance with the Zoning Ordinance.

ADDITIONAL PLANNING ITEMS:

DRB Stipulations

27. No exterior vending or display shall be allowed.
28. Flagpoles, if provided, shall be one piece, conical, and tapered.
29. Patio umbrellas shall be solid colors and shall not have any advertising in the form of signage or logos.

RELEVANT CASES:

Ordinance

F. At the time of review, the applicable cases for the subject site were 2-UP-2004, 18-DR-2004

ENGINEERING

CIRCULATION

30. STREET CONSTRUCTION. Before any certificate of occupancy is issued for the site, the developer, at its expense, shall dedicate the following right-of-way and construct the following street improvements, in conformance with the Design Standards and Policies Manual:

Street Name/Type	Dedications	Improvements	Notes
Miller Road Minor Collector	40' half (existing)	Existing	1 and 2

31. ACCESS RESTRICTIONS. Before any certificate of occupancy is issued for the site, the City, shall reserve the appropriate area, as determined by city staff, and construct the following access to the site. Access to the site shall conform to the following restrictions (distances measured to the driveway or street centerlines):
- Miller Road - There shall be a maximum of three site driveways from Miller Road, with a minimum of 330 feet between driveways. The northernmost driveway shall be located a minimum distance of 200 feet south of the McKellips Road centerline and shall provide public access to the northern portion of the site. Driveways shall align with existing driveways to the west or be offset a minimum distance of 125 feet, unless otherwise approved by the transportation department general manager or his designee.
32. AUXILIARY LANE CONSTRUCTION. In conjunction with case 18-DR-2004, before any certificate of occupancy is issued for the site, the City, shall construct a right-turn deceleration lanes at the site entrances on McKellips Road, in conformance with the Design Standards and Policies Manual. Relief on the overall deceleration lane length, relative to the conflicting power pole, may be provided by the transportation department.
33. MULTI-USE PATH. A multi-use path shall be provided along the southern end of the site, connecting the greenbelt east of the site to Miller Road.

DRB Stipulations

- The developer shall provide a minimum parking-aisle width of 24 feet.
- The developer shall provide internal circulation that accommodates emergency and service vehicles with an outside turning radius of 45 feet and inside turning radius of 25 feet.
- The developer shall design the dead-end parking aisle in general conformance with the included detail.
- Sight distance easements shall be dedicated over sight distance triangles.
- Sight distance triangles must be shown on final plans to be clear of landscaping, signs, or other visibility obstructions between 2 feet and 7 feet in height.
- Refer to the following figures: 3.1-13 and 3.1-14 of Section 3.1 of the City's Design Standards and Policies Manual, published December 1999.

Ordinance

- G. *Parking areas shall be improved with a minimum of 2.5 inches of asphalt over 4 inches of aggregate base.*

DRAINAGE AND FLOOD CONTROL**DRB Stipulations**

40. CONCEPTUAL DRAINAGE REPORT. With the Development Review Board submittal, the Consultant shall submit a drainage report and plan subject to city staff approval. The report and plan shall conform to the Design Standards and Policies Manual - Drainage Report Preparation. In addition, the conceptual drainage report and plan shall:
41. Demonstrate how the storm water storage requirement is satisfied, indicating the location, volume and drainage area of all storage.
42. Include flood zone information to establish the basis for determining finish floor elevations in conformance with the Scottsdale Revised Code.
43. Include a complete description of requirements relating to project phasing.
44. A final drainage report shall be submitted that demonstrates consistency with the conceptual drainage report approved in concept by the Planning and Development Services Department.
 - a. Before the approval of improvement plans by city staff, the developer shall submit two (2) hard copies and one (1) compact disc copy of the complete final drainage report and plan.
45. Basin Configuration:
 - a. Basin side slopes shall not be steeper than 4:1, and basin depths shall not exceed 3 feet.
 - b. A maximum of 50% of the front open space may be used as a retention/detention basin unless approved by the Project Coordination Manager. Stormwater Storage on Paved Surfaces. Up to 50% of required stormwater storage may be provided in parking areas when the following conditions are met:
 - c. Storage system shall be designed to store first 30% of required runoff volume off paved areas (to avoid ponding of nuisance water on pavement).
 - d. Parking lot storage areas shall be designed so as to minimize interference with pedestrian traffic. Depth of water shall not exceed six inches within the parking area.

Ordinance

- H. On-site stormwater storage is required for the full 100-year, 2-hour storm event. The design of the storage basin capacity shall account for any proposed landscaping improvements. The landscaping improvements within the basins shall not reduce the capacity of the basins under the required volume.*
- (1) Basin bleed-off rates shall be set so that the storage basins do not drain completely in less than 24 hours. Storage basins must drain completely within 36 hours.*
 - (2) Infiltration of stormwater through the basin floor is not acceptable as the sole means of draining the basin. Stormwater storage basins should be designed to meter flow to the historic out-fall point. Where an historic out-fall point does not exist (or metering is not possible), other methods of discharge such as pumps, etc. may be considered.*
 - (3) Stormwater storage basins may not be constructed within utility easements or dedicated right-of-way (exceptions may be granted with written approval from appropriate utility company).*
 - (4) Off-site runoff must enter and exit the site as it did historically.*
 - (5) All development shall be designed to satisfactorily convey the 100-year peak discharge through the site without significant damage to structures.*
 - (6) With the final improvement plans submittal to the Plan Review and Permit Services Division, the developer shall submit a final drainage report and plan, subject to City staff approval.*

46. Underground Stormwater Storage:

- a. Underground stormwater storage is prohibited unless approval is obtained from the City's Floodplain Administrator.
- b. Drywells are not permitted.

47. Street Crossings:

- a. Watercourse crossings for roads shall be designed to provide for 100-year access to all lots by at least one route. Accessibility will be considered to exist if it can be shown by the engineer that at the time of the peak flow, the depth of flow over the road will not be greater than 1 foot.

Ordinance*I. Drainage Easement:*

- (1) *Drainage and flood control easements shall be dedicated to the City to the limits of inundation for all vista corridor washes, for all washes having a discharge rate of 25 cfs or more, for all FEMA regulatory floodways to the extent of the 100-year base flood elevation, and for all stormwater storage basins. All drainage and flood control easements shall be dedicated to the City with maintenance responsibility specified to be that of the property owner.*

J. Waterline and Sanitary Sewer Easements:

- (1) *Before the issuance of any building permit for the site, the developer shall dedicate to the City, in conformance with the Scottsdale Revised Code and the Design Standards and Policies Manual, all water easements necessary to serve the site.*

REFUSE**Ordinance***K. Refuse enclosures are required as follows:*

- (1) *Commercial Building Space: One for 0 to 20,000 s.f., Two for 20,001 to 40,000 s.f., Three for 40,001 to 60,000 s.f., etc.*

*L. Underground vault-type containers are not allowed.**M. Refuse collection methods, i.e., site plan circulation will be approved at final plan review.**N. Refuse collection can be provided by the City of Scottsdale's Sanitation Division, at 480-312-5600.***WATER AND WASTEWATER STIPULATIONS**

48. The following stipulations are provided to aid the developer in submittal requirements, and are not intended to be all-inclusive of project requirements. Water and sewer lines and services shall be in compliance with City Engineering Water and Sewer Ordinance, the Scottsdale Revised Code and Sections 4 and 5 of the Design Standards and Policies Manual.

49. Before the improvement plan submittal to the Plan Review and Permit Services Division, the developer shall obtain approval of the master water and wastewater reports. The improvement plans shall be consistent with the approved master water and wastewater reports. Any design that modifies the approved master report requires from the developer a site-specific addendum to the master report, subject to review and approval by City staff.

50. Where walls cross or run parallel with public water mains, public sewer mains, or public fire lines the following shall apply:

- a. For walls constructed parallel to these pipes, the walls shall be a minimum of six (6) feet from the outside diameter of the pipe.
- b. For walls constructed across or perpendicular to these pipes, the walls shall be constructed with gates or removable wall panels for maintenance and emergency access.

WATER:

DRB Stipulations

51. Basis of Design Report (Water):

- a. Before the improvement plan submittal to the Plan Review and Permit Services Division, the developer shall obtain approval of the Water Basis of Design Report from the City's Water Resources Department. The report shall conform to the draft Water and Wastewater Report Guidelines available from the City's Water Resources Department.

WASTEWATER:

DRB Stipulations

52. Wastewater Basis of Design Report.

- a. Before the improvement plan submittal to the Plan Review and Permit Services Division, the developer shall obtain approval of the Wastewater Basis of Design Report from the City's Water Resources Department. The report shall conform to the draft Water and Wastewater Report Guidelines available from the City's Water Resources Department.
- b. As-built plans for drainage facilities and structures shall include, but are not limited to, streets, lot grading, storm drain pipe, valley gutters, curb and gutter, flood walls, culverts, inlet and outlet structures, dams, berms, lined and unlined open channels, storm water storage basins, underground storm water storage tanks, and bridges as determined by city staff.

Ordinance

- O. *Section 404 permits. With the improvement plan submittal to the Plan Review and Permit Services Division, the developer's engineer must certify that it complies with, or is exempt from, Section 404 of the Clean Water Act of the United States. [Section 404 regulates the discharge of dredged or fill material into a wetland, lake, (including dry lakes), river, stream (including intermittent streams, ephemeral washes, and arroyos), or other waters of the United States.]*